



San Diego Unified School District

PHYSICAL PLANT OPERATIONS CENTER ANNEX
4860 Ruffner Street, San Diego, CA 92111-1522

(858) 496-1902
Fax: (858) 496-1953

Graham Champion
Labor Compliance and
Construction Contracts Supervisor

February 27, 2020

Mr. Stephen Thompson
Solpac Construction, Inc.
dba Soltek Pacific Construction Company
2424 Congress Street
San Diego, CA 92110

Dear Mr. Thompson:

Subject: CZ-19-0860-42 – Design Build Construction of Heating, Ventilation, and Air Conditioning (HVAC) at Multiple Sites – Package C (SDUSD Project #~~93460071.1~~ 141)

Notice to Proceed: No. 06R1 – HVAC Construction at Hawthorne Elementary School

This letter constitutes your revised Notice to Proceed (NTP) for HVAC construction and contingency work at Hawthorne ES per your proposal with the scope of work breakdown to Radik Musin dated December 12, 2019, for a contingency reduction of \$6,023.68 for the revised not-to-exceed total amount of ~~\$2,957,686.24~~ **\$2,951,662.56**

NTP 06R1 Hawthorne ES Construction		\$2,817,937.00
NTP 06R1 Hawthorne ES Contingency	\$139,749.24	\$133,725.56

Work began on October 1, 2019, and is to be completed by June 24, 2020.

Please refer to this NTP number on all your correspondence and invoices.

Original invoice should be sent to:

San Diego Unified School District
PPO Center, Attn: Catherine Bendixen
4860 Ruffner Street
San Diego, CA 92111

Please call your construction manager if you have any questions regarding this NTP. Invoicing inquiries should be directed to Catherine Bendixen at (858) 637-6246.

Sincerely,

Graham Champion
Labor Compliance and Construction Contracts Supervisor

GC: lw

Attachment

C: D. Nestor, A. Clark, R. Musin, S. Hawkins, PSA



www.soltekpacific.com
 2424 Congress Street • San Diego • CA 92110
 P 619.296.6247 | F 619.296.7109
 Contractor License #886611 | EOE

December 12, 2019

San Diego Unified School District
 Construction Office
 4860 Ruffner Street
 San Diego, CA 92111

Attention: Mr. Radik Musin, Project Manager
 Contract No. CZ-19-0860-42 HVAC Design Build Package C
 Reference: Hawthorne Elementary School *NTP 06R1*
 Subject: Notice to Proceed for Construction Pricing, revised

Mr. Musin,

This correspondence is provided at the request of the San Diego Unified School District to revise the previously approved and issued Notice to Proceed (NTP) for Construction at Hawthorne Elementary School. The revised total cost reflected herein is a function of an adjustment to Contingency Adjustment overhead and profit percentages.

The total adjusted construction cost for this project is \$2,951,622.56.

CONSTRUCTION - PHASE II	
General Requirements	\$ 165,298.00 ✓
Existing Conditions	\$ 176,850.00 ✓
Concrete	\$ 7,635.00 ✓
Metals	\$ -
Wood, plastics and Composites	\$ 155,000.00 ✓
Thermal and Moisture Protection	\$ 165,793.00 ✓
Openings	\$ -
Finishes	\$ 179,282.00 ✓
Specialties	
Equipment	\$ -
Furnishings	\$ -
Plumbing	\$ 138,850.00 ✓
Heating, Ventilating and Air Conditioning	\$ 588,600.00 ✓
Electrical	\$ 701,700.00 ✓
Earthwork	\$ -
Exterior Improvements	\$ -
Total Construction Costs	\$ 2,279,008.00 ✓
General Conditions	\$ 145,027.00 ✓
Overhead and Profit	\$ 168,403.00 ✓
Bonds and Insurance	\$ 30,071.00 ✓
Contractor Contingency	\$ 24,057.00 ✓
Screening of Existing Rooftop Equipment	\$ 171,371.00 ✓
SUBTOTAL	\$ 2,817,937.00 ✓
CONTINGENCY ADJUSTMENTS	
HazMat Abatement/Repairs (see CAP 001)	\$ 133,725.56 ✓
HAWTHORNE ES CONSTRUCTION NTP TOTAL	\$ 2,951,662.56 ✓



www.soltekpacific.com
2424 Congress Street • San Diego • CA 92110
P 619.296.6247 | F 619.296.7109
Contractor License #886641 | FOI:

The cost and scope is based on the DSA approved Construction Documents, DSA approved CCDs and proposed CCDs and other documents provided under separate cover to, and reviewed and approved by the San Diego Unified School District Project Manager and its team of Criteria Architects and Engineers.

Additional Scope of Work requested or directed by the San Diego Unified School District, it's agents, employees and consultants is subject to the applicable provisions of the Contract.

Please do not hesitate to contact me with any questions or comments regarding this matter.

Best regards,

A handwritten signature in blue ink, appearing to read "Mark Hofmann", is written over a light blue grid background.

Soltek Pacific Construction
Mark Hofmann
Senior Project Manager

Cc: file

Attachment

SOLTEK PACIFIC

CZ-19-0860-42

Subject: **Asbestos Abatement & Patchback**

PAYMENT - EXTRA, ADDITIONAL, OR DELETED WORK	Extra/Credit
1. <u>General Contractor Material</u> a. Attach itemized quantity and unit cost plus sales tax b. Include information where derived, i.e., "Means Building Construction Cost Data" or other source mutually agreed to by all parties.	\$ -
2. <u>General Contractor Labor</u> Attach itemized hours and rates per certified payrolls and prevailing wage chart. Rates shall only include a maximum of 15% for payroll burden plus actual costs for Workers' Compensation Insurance. Payment for extra supervision will be paid when extra Work is done in a time period other than normal Working hours.	\$ -
3. Subtotal - (Item #1 plus Item #2)	\$ -
4. <u>General Contractor's overhead, profit, supervision, bond fees</u> A maximum aggregate total of 16% of Item #3. This item is not allowed on Extended Overhead	\$ -
5. Total General Contractor (Item #3 plus Item #4)	\$ -
6. <u>Subcontractor Material</u> a. Attach itemized quantity and unit cost plus sales tax b. Include information where derived, i.e., "Means Building Construction Cost Data" or other source mutually agreed to by all parties.	\$ 105,463.40
7. <u>Subcontractor Labor</u> Attach itemized hours and rates per certified payrolls and prevailing wage chart. Rates shall only include a maximum of 15% for payroll burden plus actual costs for Workers' Compensation Insurance. Payment for extra supervision will be paid when extra Work is done in a time period other than normal Working hours.	\$ 15,010.08
8. Subtotal - (Items #6 and #7)	\$ 120,473.48
9. <u>General Contractor's overhead, supervision, bond fees and profit for Subcontractor Work</u> (maximum aggregate total of 11% of Item #8) This item is not allowed on Extended Overhead	\$ 13,252.08
10. <u>Subcontractor's Overhead and Profit</u> Maximum aggregate total of 15% of Item #8. Not to be included for Work provided by General Contractor. No Sub-Tier markups allowed. Attach signed Subcontractor documentation on Subcontractor letterhead. This item is not allowed on Extended Overhead	
11. Subtotal - (Items #9 & #10)	\$ 13,252.08
TOTAL (Item #5 plus Item #8 plus Item #11)	\$ 133,725.56

EXTRA OR CREDIT CHANGE ORDERS WILL NOT BE CONSIDERED UNLESS THIS EXHIBIT IS COMPLETELY FILLED IN WITH ALL ADDS AND DEDUCTS ACCOUNTED FOR ALONG WITH APPROPRIATE BACKUP DOCUMENTATION.

Cost summaries, breakdowns, back-up or requests shall not be based, in whole or in part, upon any methodology (such as "total cost", "modified total cost" or "Eichleay" formalistic methodologies) that purports to calculate or estimate additional costs of performance of the extra, additional or disputed work (including without limitation the additional costs of delay, disruption, interference, hindrance, unabsorbed overhead or other impacts) and the cumulative impact of each extra, additional or deleted work on other parts of the Work.



June 06, 2019

Quote #Q-5426PB

Mr. Mark Hoffman
Soltek Pacific Construction
2424 Congress Street
San Diego, CA 92110

Phone: (619) 296-6247
Fax: (619) 296-4314
E-mail: MHoffman@soltekpacific.com

Project: Hawthorne Elementary School IDIQ Phase 2
Subject: Asbestos Abatement

Dear Mr. Hoffman,

Watkins Environmental is pleased to provide you with the following quote for work on your project. Our quote is based on the following Work to be Performed, Items Included in Quote, Items Excluded from Quote, and General Conditions of Quote.

Work to be Performed

Cut, remove, and dispose of the impacted trace stucco, plaster, and/or drywall as marked out in Attachment A.

Any work not shown in Attachment A will need to be done on a man-day basis or a new lump sum price will need to be submitted for the additional work.

2 man crew minimum per additional mobilization of work not in scope. Price for 2 man crew will be \$2,400.00 per day with each additional laborer being \$1,100.00 per day.

Our Price for this Work

\$52,960.00

This quote is valid for 30 days from the date of the quote. If you do not notify Watkins Environmental, Inc. with a notice of intent to award or issue a contract within the 30-day period, we retain the right to revise our price and re-submit. This quote is subject to any regulatory cost changes and industry cost increases that would require a modification to the quote. All work will be performed in strict compliance with all Federal, State and Local regulations.

We appreciate the opportunity to quote on your project. If I can be of any further assistance, please do not hesitate to call me at (858) 268-1500.

Sincerely,

Pierce Barone



**Inclusions, Exclusions, and General Conditions
 of Quote Q-5426PB, dated June 06, 2019**

Items Included in Quote:

- Only the specific scope of work identified under Work to be Performed.
- Prevailing wages.
- All required hazardous material notifications to proper agencies prior to our start of work.

Items Excluded from Quote:

GENERAL EXCLUSIONS: Any work not specifically identified under Work to be Performed, including, but not limited to: providing water or power, shoring/bracing, toilets, fencing, traffic control, security, scaffolding, work outside of normal business hours, payment or performance bonds, retention, de-nailing, weather protection, mark out, disconnecting, cutting, capping, redirecting, or removal of any utilities, commencement of any extra work without a mutually agreed upon lump sum price, permits of any kind, prevailing wages, removal of more than one layer of material, SWPPP requirements of any kind, removal of any items to be salvaged, saved, or stored, removal or the moving of any furniture, equipment, or other items required to access Watkins' work areas, layout of any kind, preparation of any kind for any new work, repair or replacement of any items or surfaces removed or damaged by a result of our work, including damaged paint, walls, doors, surfaces, ceilings, blinds, wallpaper, scratches to surfaces, scrapes, holes, chips, or discoloration, any third party air clearances, reports, inspections, air monitoring/sampling, wipe sampling, or bulk sampling, infectious control, responsibility of any new items not adhering to surfaces as a result of any materials, chemicals, or means and methods used by Watkins to complete their work.

-

ASBESTOS EXCLUSIONS: Unless otherwise stated, the removal of any in-wall or inaccessible asbestos materials, removal of any non-visible asbestos containing materials, removal of any drywall that is not taped and/or textured, all friable/non-friable asbestos waste being transported and disposed of to any landfill not chosen by Watkins, and any items identified as "assumed" to be asbestos in the survey are excluded.

-

General Conditions of Quote:

GENERAL TERMS AND CONDITIONS: All required parking for Watkins employees and work vehicles shall be provided by Owner/Client. Watkins will not accept any back charges for damages as a result of their work. Owner/Client hereby acknowledges that the nature of the work being performed requires destructive means and methods. Owner/Client acknowledges damage to surfaces and items left behind may occur. Owner/Client acknowledges they have been advised that all furniture and furnishings shall be completely removed from the work area by Owner/Client prior to Watkins arrival and will not hold Watkins responsible for any damage to any items left in the work area. Access to work areas shall be provided as described at time of bid. Watkins shall retain all rights to any salvage materials/items relating to its work. In the event Owner/Client has Watkins proceed with work in any manner without a mutually signed contract, Owner/Client hereby agrees that this Quote shall be a binding contract.

-

Owner/Client agrees that payment is due 100% net 30 days of invoice date. An interest rate of 15% per annum, or the maximum amount allowed by law, shall be charged on all past due amounts. Owner/Client hereby agrees that Watkins shall have the right to offset from any amount payable hereunder any amount that Owner/Client owes to Watkins.

-



AUTHORIZATION TO PROCEED

By signing this Authorization to Proceed, you agree that you have read the attached description of the **Work to be Performed** and you understand the **Items Included in Quote, Items Excluded from Quote, and General Conditions of Quote for Quote #Q-5426PB**, dated **June 06, 2019**. You are authorizing Watkins Environmental, Inc. to proceed. If you are not the Owner/Client, you warrant that you are duly authorized to sign on behalf of the Owner/Client listed. You agree to the quote amount and the payment terms. Any discrepancy or claim arising out of or relating to this project shall be settled in the County of San Diego by arbitration in accordance with construction industry arbitration rules of the American Arbitration Association. Prevailing party shall have the right to collect from the other party its reasonable costs and necessary disbursements and attorney's fees incurred in enforcing its agreement. If this Quote Price is greater than \$25,000, then this Authorization to Proceed must be signed by a corporate officer of Watkins Environmental, Inc.

Soltek Pacific Construction ("Owner/Client")

Authorized Signatory

Print Authorized Signatory

Date

Watkins Environmental Inc. ("Watkins")

Authorized Corporate Signatory

Date

Contingency Adjustment Proposal Estimate
Contract No. CZ-19-0860-42

SDUSD HVAC Design Build Projects
Hawthorne Elementary School

Contingency Adjustment # Hawthorne 001 Subject: Abatement & Patchback at Hawthorne ES Date: 11/19/2019

Items of Work for Subcontractor	Quan	Unit	Material		Labor		Subcontract		Equipment
			Unit Cost	Total Cost	Unit Cost	Total Cost	8/25/2019	Total	
Abatement	1	LS	\$ -	\$ -	\$ -	\$ -	\$ 52,960.00	\$ 52,960.00	
Patchback of abatement			\$ -	\$ -	\$ -	\$ -			
Interior Plaster	1138	SF	\$ -	\$ -	\$ -	\$ -	\$ 24.82	\$ 28,245.16	
Exterior Plaster	404	SF	\$ -	\$ -	\$ -	\$ -	\$ 34.75	\$ 14,039.00	
Mastic Removal	0	EA	\$ -	\$ -	\$ -	\$ -	\$ 237.00	\$ -	
Paint	1138	SF	\$ -	\$ -	\$ -	\$ -	\$ 8.98	\$ 10,219.24	\$ -
			\$ -	\$ -	\$ -	\$ -			\$ -
			\$ -	\$ -	\$ -	\$ -			\$ -
Misc. Labor	14	DAY	\$ -	\$ -	\$ 590.16	\$ 8,262.24			
Misc. Supervision	9	DAY	\$ -	\$ -	\$ 749.76	\$ 6,747.84			
			\$ -	\$ -	\$ -	\$ -			\$ -
			\$ -	\$ -	\$ -	\$ -			\$ -
			\$ -	\$ -	\$ -	\$ -			\$ -
			\$ -	\$ -	\$ -	\$ -			\$ -
Direct Subcontractor Totals			\$ -	\$ -	\$ -	\$ 15,010.08		\$ 105,463.40	\$ -

Items of Work for Prime Contractor	Quan	Unit	Material		Labor		Equipment	
			Unit Cost	Total Cost	Unit Cost	Total Cost	Unit Cost	Total
			\$ -	\$ -	\$ -	\$ -		\$ -
Direct Prime Contractors Totals			\$ -	\$ -	\$ -	\$ -		\$ -

LOCATION: Hawthorne ES--Asbestos Abatement
 DATE: 11/19/19
 CONTRACTOR: Soltek Pacific
 PM: Mark Hofmann
 SUBCONTRACTOR: Watkins Enviornmental

Building	Activity	QTY	Unit	8/25/2019	Exterior Plaster	Mastic Removal	Paint
Areas of Abatement Requiring Patchback				Total Square Footage for Catagories			
01-01							Hawthorne 001 r2
	a. Exterior plaster for stuctural LVL		SF				
	b. Interior wall plaster		SF				
	c. Electrical Penetrations (Interior plaster)	12	SF	12			
	d. Roof mastic penetration	8	SF				
	e. Paint		SF				
01-02							
	a. Exterior plaster for stuctural LVL	240	SF		240		
	b. Interior wall plaster		SF				
	c. Electrical Penetrations (Interior plaster)	12	SF	12			
	d. Roof mastic penetration	8	SF				
	e. Paint		SF				
01-03							
	a. Duct Penetrations		SF				
	b. Interior wall plaster		SF				
	c. Electrical Penetrations (Interior plaster)	8	SF	8			
	d. Roof mastic penetration	8	SF				
	e. Paint		SF				
01-04							
	a. demo for duct wall penetrations (Interior plaster)	40	SF	40			
	b. Demo for duct access (Interior plaster)	90	SF	90			
	c. Electrical Penetrations (Interior plaster)	8	SF	8			
	d. Roof mastic penetration	8	SF				
	e. Exterior plaster for electrical penetration	4	SF		4		
	f. Paint		SF				
01-05							
	a. Exterior plaster for stuctural LVL	160	SF		160		
	b. Interior wall/ceiling plaster	960	SF	960			
	c. Electrical Penetrations (Interior plaster)	8	SF	8			
	d. Roof mastic penetration	8	SF				
	e. Paint		SF				
		Total Square Footage		1138	404	0	0

SDU

Hawthorne ES Pass Perms - check for Hazmat

Attachment A

Sheet 5/20/18

But Assume - 100% penetrations per building

- 3' x 3' holes for structural beams

- 10' diameter penetrations per building

- 5' max hole size at roof penetrations per building

SHEET NOTES

- 1. FOR HVAC SYSTEM SCOPE OF WORK, SEE ALL FLOOR PLANS, ROOF PLANS, ELEVATED PLANS, DETAILS, CONTROL POINTS, AND DISCIPLINE DRAWINGS AND SPECIFICATIONS.



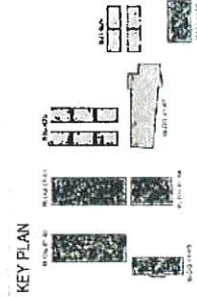
BOARD OF EDUCATION
 1500 N. 15TH STREET, SUITE 100
 WASHINGTON, PA 15376
 WCAE

HAWTHORNE ELEMENTARY SCHOOL
 HVAC 2000 PHASE 2
 EDUCATIONAL SUPPORT SPACES
 475015-0000 SAN DIEGO, CA 92117

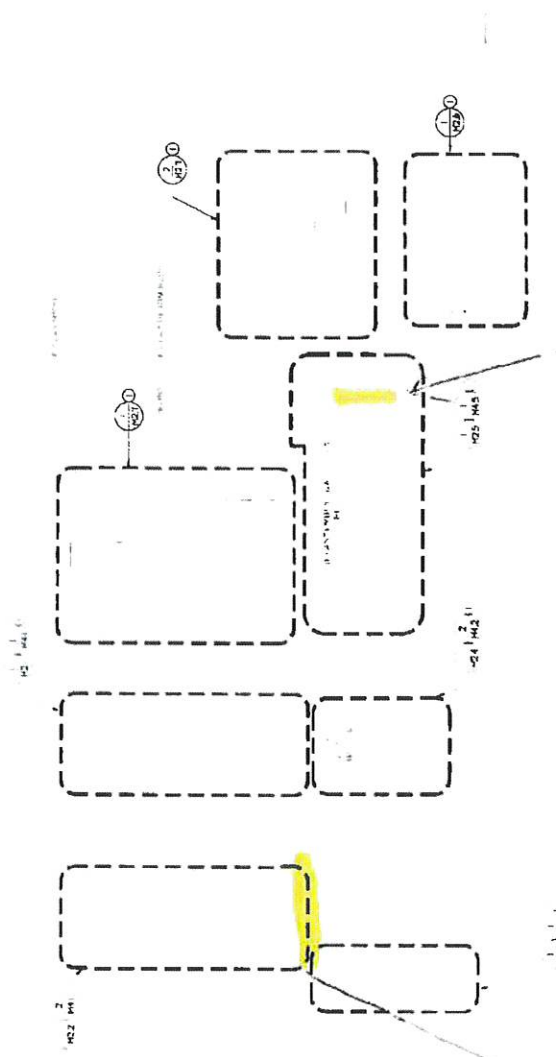
PROJECT NO. 18-001
 SHEET NO. M10

GENERAL NOTES

- 1. VERIFY ALL HVAC PENETRATIONS WITH THE STRUCTURAL ENGINEER. VERIFY ALL TRUCKS AND PLUMBING VENT AND/OR EXHAUST VENTS ARE PROTECTED FROM THE ROOT TOP INTO THE AIR INTAKE ECONOMIZER. VERIFY ALL TRUCKS AND PLUMBING VENTS AND EXHAUST VENTS ARE PROTECTED FROM PLUMBING VENTS AND EXHAUST AIR DISCHARGE.
- 2. IN THE EVENT THAT THERE IS A CHANGE IN THE LOCATION OF ANY TRUCKS AND PLUMBING VENTS, THE STRUCTURAL ENGINEER SHALL BE NOTIFIED AND ALL DISCHARGE VENTS SHALL BE RELOCATED AND/OR CHANGED AIR DISCHARGE SHALL BE RELOCATED AND/OR CHANGED.
- 3. COORDINATE ALL WORK WITH PLUMBING, ELECTRICAL, STRUCTURAL, AND CONTROLS.



PMPEC Consultants
 Mechanical Engineers
 505 ORANGE GROVE SUITE 101
 SAN DIEGO, CA 92108
 TEL: (619) 442-0000
 FAX: (619) 442-0001



Steel removal for structural
 10'-0" X 16'-0"

8'-0" X 30'-0"



OVERALL HVAC SITE PLAN

2

Plumbing and Electrical Penetrations

GENERAL NOTES

- DO NOT INSTALL PENETRATIONS ON OUTSIDE WALL. INSTALL PENETRATIONS ON INSIDE WALLS. LOCATIONS COORDINATE WITH ARCHITECT'S OF RECORD.
- SEPARATELY PREPARE PENETRATIONS FOR THE ROOFS AT THE DOG OF DATA ROOM AND AT REAR PORCH.
- COORDINATE ALL ROOF PENETRATIONS WITH ARCHITECT'S ELECTRICAL PLUMBER AND CONTRACTORS.
- PROVIDE TO THE ARCHITECT'S CONTRACTORS ALL CONDITIONS OF THE ROOF PENETRATIONS. THE ARCHITECT'S CONTRACTORS SHALL BE RESPONSIBLE FOR THE CORRECT INSTALLATION OF THE PENETRATIONS INTO THE ROOF STRUCTURE.
- ALL SQUARE AND RECTANGULAR PENETRATIONS SHALL BE LINED

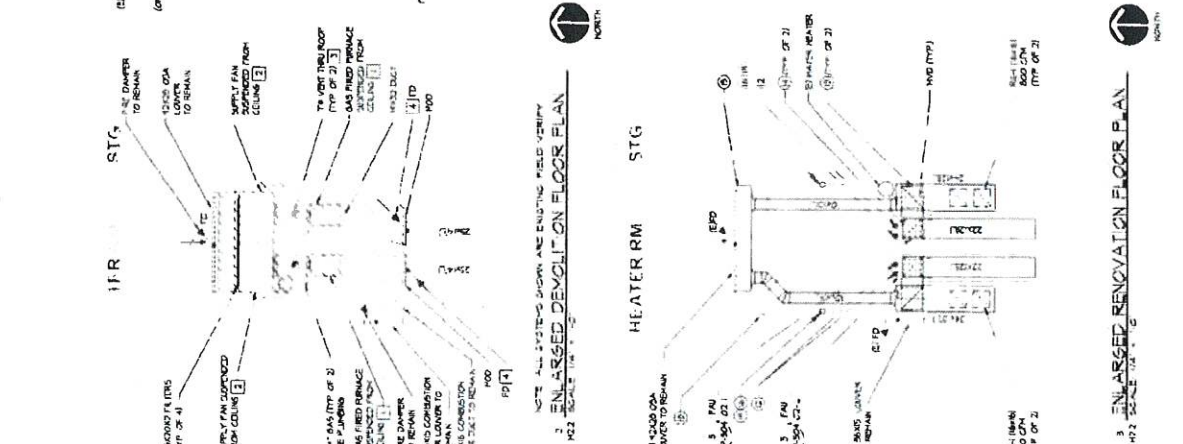
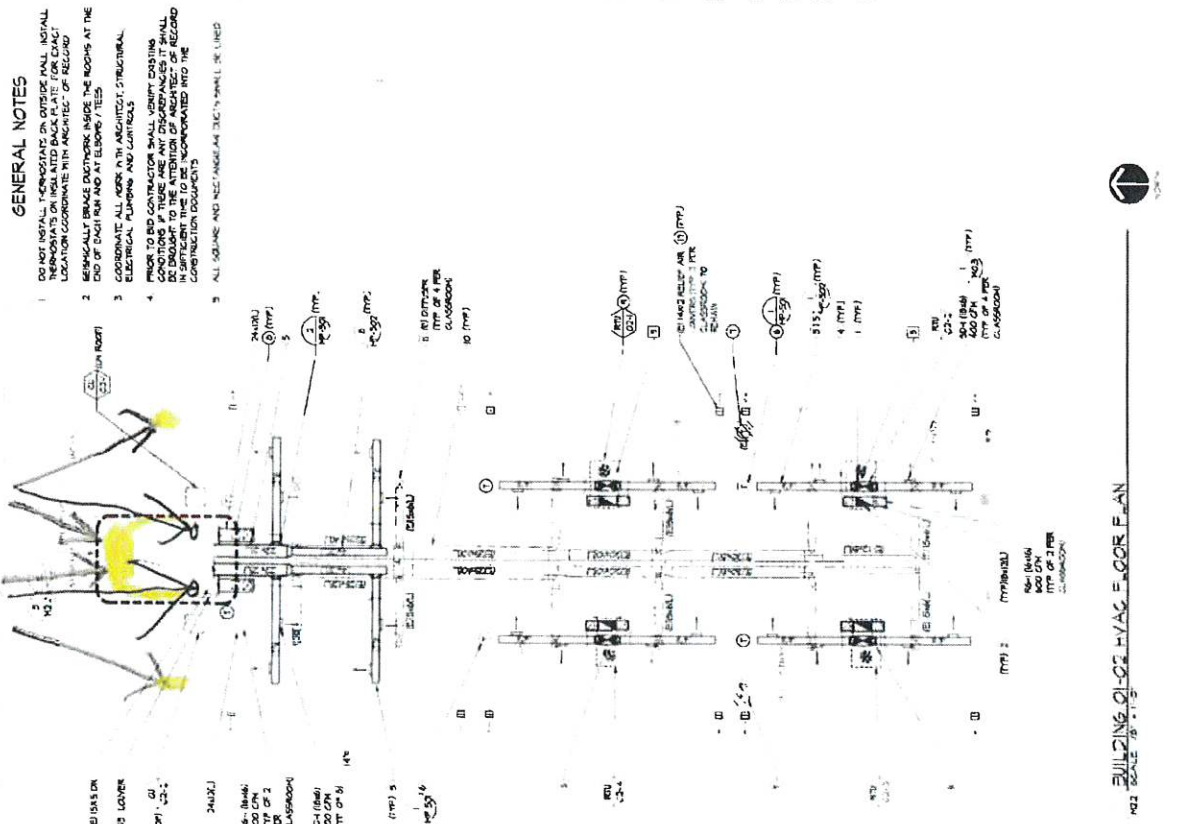
SHEET NOTES

- REMOVE EXISTING AIR DUCT ROOF UP THE ROOF AND TRANSITION TO CONNECT TO THE WHITTELL CONNECTION.
- REMOVE EXISTING AIR DUCT ROOF UP THE ROOF AND TRANSITION TO CONNECT TO THE WHITTELL CONNECTION.
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BOARD OF EDUCATION
SANDRINE D. BROWN, SUPERINTENDENT
WCAE
1500 L. HERRON AVENUE, SACRAMENTO, CA 95811

BUILDING 01-02 HVAC FLOOR PLAN
HAWTHORNE ELEMENTARY
EDUCATIONAL SUPPORT SPACES
M2.2



NOTE ALL SYSTEMS SHOWN ARE EXISTING FIELD VERIFY
3 ENLARGED RENOVATION FLOOR PLAN
M2.2 SCALE 1/8" = 1'-0"

BUILDING 01-02 HVAC FLOOR PLAN
M2.2 SCALE 1/8" = 1'-0"

3 ENLARGED RENOVATION FLOOR PLAN
M2.2 SCALE 1/8" = 1'-0"

PMPEC Consultants
Mechanical Engineers
3000 DUNDAS STREET WEST, UNIT 101
SCARBOROUGH, ONTARIO M1V 1S7
TEL: (905) 477-0900
FAX: (905) 477-0901



7

SHEET NOTES

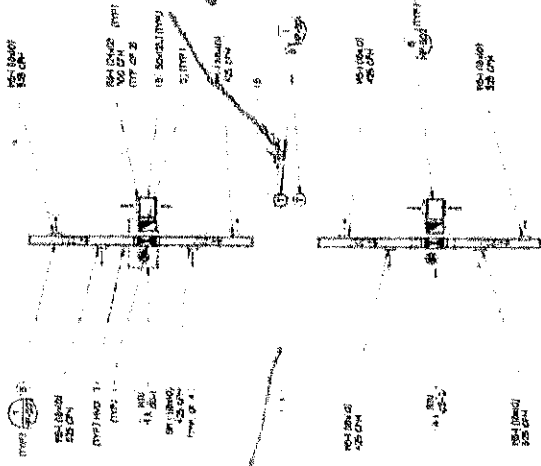
1. MAINTAIN ALL EXISTING ROOF AND TRANSITION TO CORRESPOND TO CITY UTIL CONNECTIONS
2. MAINTAIN ALL EXISTING ROOF AND TRANSITION TO CORRESPOND TO CITY UTIL CONNECTIONS
3. MAINTAIN ALL EXISTING ROOF AND TRANSITION TO CORRESPOND TO CITY UTIL CONNECTIONS
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DEMOLITION NOTES

1. DEMOLISH ALL EXISTING ROOF AND TRANSITION TO CORRESPOND TO CITY UTIL CONNECTIONS
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10. DEMOLISH ALL EXISTING ROOF AND TRANSITION TO CORRESPOND TO CITY UTIL CONNECTIONS

GENERAL NOTES

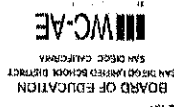
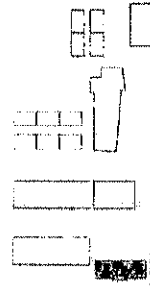
1. DO NOT INSTALL TERMINATED OR STRIKE WALL INSTALL TERMINATED OR ISOLATED BACK SLATE FOR LEAD-CONTAINING ROOFING WITH HEIGHTS OF ROOFING
2. DEMOLISH ALL EXISTING ROOF AND TRANSITION TO CORRESPOND TO CITY UTIL CONNECTIONS
3. DEMOLISH ALL EXISTING ROOF AND TRANSITION TO CORRESPOND TO CITY UTIL CONNECTIONS
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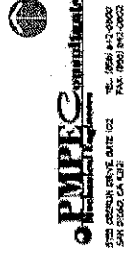
Plumb up Penetrations

Demo 2-0 Voids above E pipe

KEY PLAN



BOARD OF EDUCATION
SAN DIEGO UNIFIED SCHOOL DISTRICT
HAWTHORNE ELEMENTARY
HVAC 2000 PHASE 2
EDUCATIONAL SUPPORT SPACES
10010 HUNTER SAN DIEGO CA 92121



BUILDING 01-05 HVAC FLOOR PLAN

Dem for A/C install and Demo
90 sf

Dem Above E-pool
2'-0" x 4'-0"

Duct Penetrations 11, 12, 13

SHEET NOTES

1. POINT OF CONNECTION TO EXISTING DUCT
2. UNLESS NOTED OTHERWISE, ALL DUCT SHALL BE 18" DIA. GALV. STEEL
3. ALL DUCT SHALL BE 18" DIA. GALV. STEEL
4. ALL DUCT SHALL BE 18" DIA. GALV. STEEL
5. ALL DUCT SHALL BE 18" DIA. GALV. STEEL
6. ALL DUCT SHALL BE 18" DIA. GALV. STEEL
7. ALL DUCT SHALL BE 18" DIA. GALV. STEEL
8. ALL DUCT SHALL BE 18" DIA. GALV. STEEL
9. ALL DUCT SHALL BE 18" DIA. GALV. STEEL
10. ALL DUCT SHALL BE 18" DIA. GALV. STEEL

DEMOLITION NOTES

1. REMOVE AND DEMOLISH ALL EXISTING MALL HANGERS, INCLUDING SUSPENSION SYSTEMS, TO POINT OF DISCONTINUITY.
2. REMOVE AND DEMOLISH ALL EXISTING MALL HANGERS, INCLUDING SUSPENSION SYSTEMS, TO POINT OF DISCONTINUITY.
3. REMOVE AND DEMOLISH ALL EXISTING MALL HANGERS, INCLUDING SUSPENSION SYSTEMS, TO POINT OF DISCONTINUITY.
4. REMOVE AND DEMOLISH ALL EXISTING MALL HANGERS, INCLUDING SUSPENSION SYSTEMS, TO POINT OF DISCONTINUITY.
5. REMOVE AND DEMOLISH ALL EXISTING MALL HANGERS, INCLUDING SUSPENSION SYSTEMS, TO POINT OF DISCONTINUITY.
6. REMOVE AND DEMOLISH ALL EXISTING MALL HANGERS, INCLUDING SUSPENSION SYSTEMS, TO POINT OF DISCONTINUITY.
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8. REMOVE AND DEMOLISH ALL EXISTING MALL HANGERS, INCLUDING SUSPENSION SYSTEMS, TO POINT OF DISCONTINUITY.
9. REMOVE AND DEMOLISH ALL EXISTING MALL HANGERS, INCLUDING SUSPENSION SYSTEMS, TO POINT OF DISCONTINUITY.
10. REMOVE AND DEMOLISH ALL EXISTING MALL HANGERS, INCLUDING SUSPENSION SYSTEMS, TO POINT OF DISCONTINUITY.

GENERAL NOTES

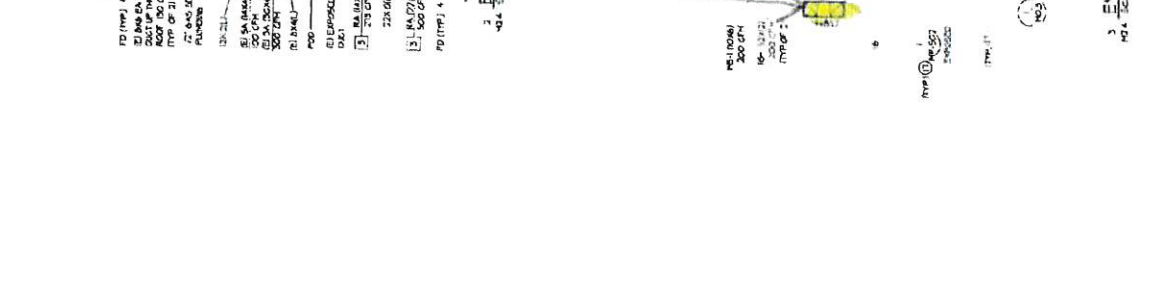
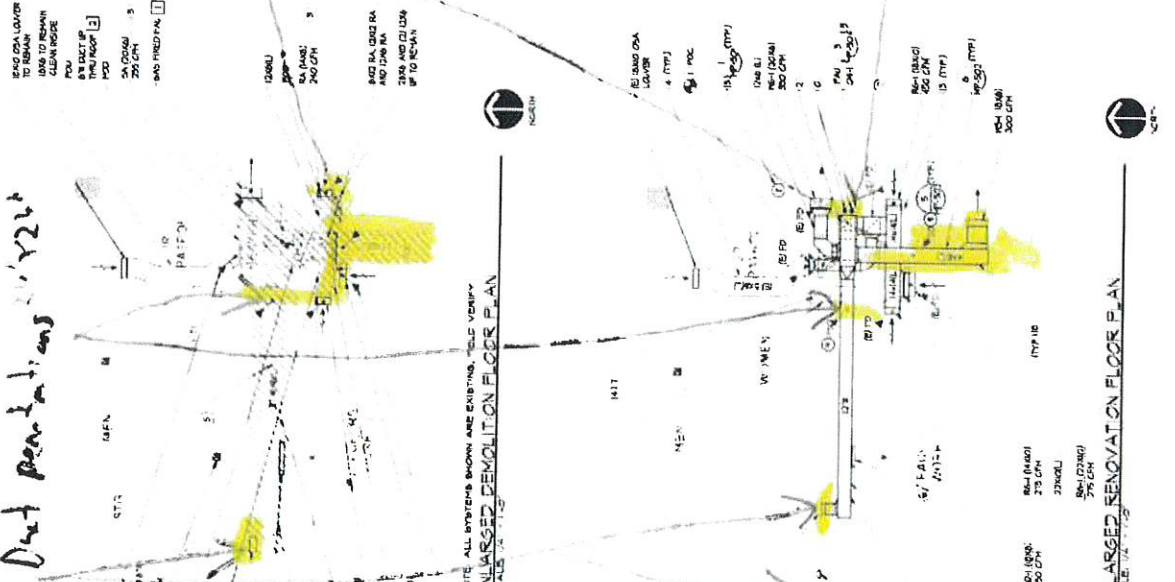
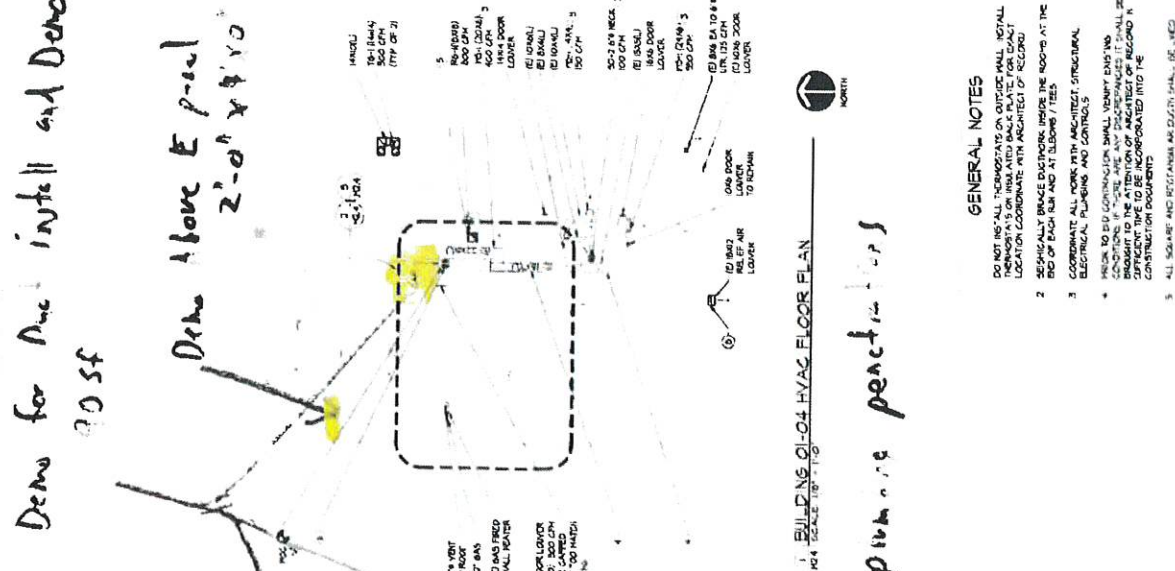
1. DO NOT INSTALL PENETRATIONS ON EXISTING MALL HANGERS WITHOUT THE APPROVAL OF THE ARCHITECT.
2. SPECIFICALLY BRACE DUCTWORK INSIDE THE ROOFS AT THE REQ. OF EACH BAR AND AT SLOTTING / TIE-IN.
3. COORDINATE ALL WORK WITH ARCHITECT, STRUCTURAL, ELECTRICAL, PLUMBING AND MECHANICAL.
4. CHECK TO BE SURE ALL PENETRATIONS MEET ALL REQUIREMENTS OF ALL APPLICABLE CODES AND STANDARDS.
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE ARCHITECT'S CONSTRUCTION DOCUMENTS.

KEY PLAN

PMPC CONSULTANTS

2700 DENVER DRIVE, SUITE 102
DENVER, CO 80202

TEL: 303.442.0000
FAX: 303.442.0005



Demo for Structural at Duct Penetrations

Electrical Penetrations 10 - 4" holes

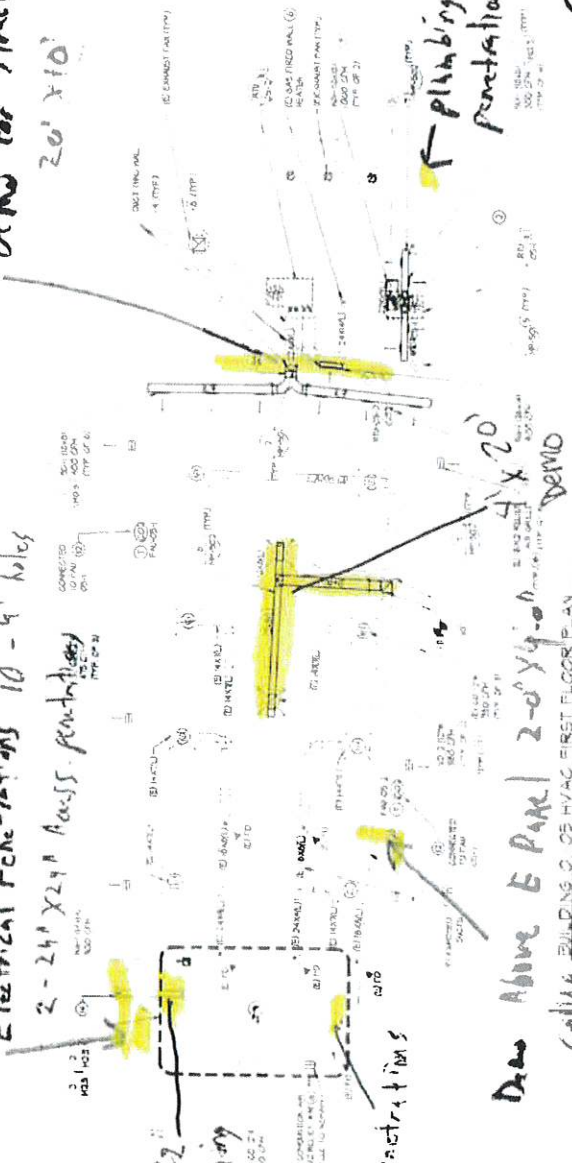
2 - 24" X 24" Access Penetrations

4'-0" X 3'-2" Access opening

E. Penetrations

Demo Above E Panel 2'-0" X 4'-0" Penetration

Collapsing Building 2nd Floor HVAC First Floor Plan



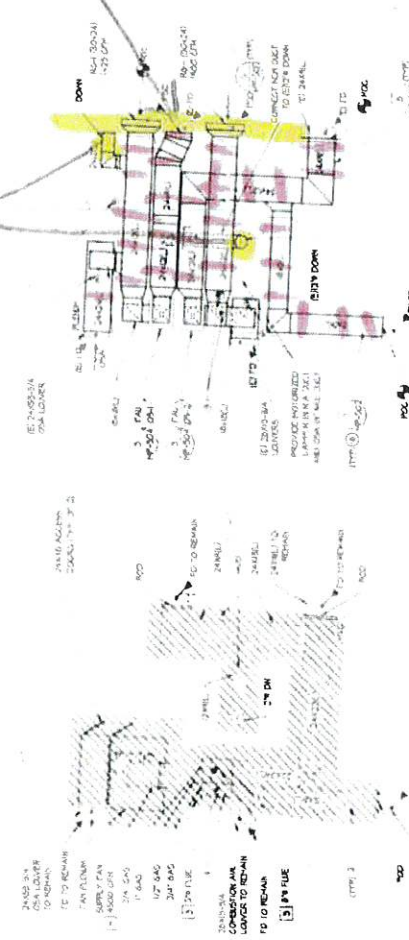
SHEET NOTES

1. OUTLINE OF EQUIPMENT ON ROOF - SEE ROOF PLAN SHEET #143
2. HANGERS TO BE COUPLER TO THE ROOF AND TRANSITION TO CORNER 113 WITH 1/2\"/>
- 3. 24\"/>
- 4. 4\"/>
- 5. PROVIDE ROOF PENETRA AND CORNER 113 APPROXIMATE WITH VOLANTEE DUCT PLATE CONSTRUCTION. LAYOUT LOCATION AND HANGERS MUST ADJUST LOCATION TO CORNER WITH DUCT HANGERS.
- 6. HANGERS MUST BE TO REMAIN UNLESS OTHERWISE NOTED. HANGERS TO BE DEMOLISHED AND RE-INSTALLED TO CORNER WITH DUCT HANGERS.
- 7. TOTAL DUCTWORK AS SHOWN AS POSSIBLE FOR ATTACHMENT NEEDS TO DUCT DETAIL AT CORNER AND 113.
- 8. DETAIL OF DUCT ABOVE ON ROOF SEE #143
- 9. HANGERS TO BE DEMOLISHED AND RE-INSTALLED TO CORNER WITH DUCT HANGERS.
- 10. DETAIL POINT OF DEMOLITION UNLESS OTHERWISE NOTED. DETAIL AND HANGERS TO BE DEMOLISHED AND RE-INSTALLED TO CORNER WITH DUCT HANGERS.
- 11. HANGERS TO BE DEMOLISHED AND RE-INSTALLED TO CORNER WITH DUCT HANGERS.
- 12. HANGERS TO BE DEMOLISHED AND RE-INSTALLED TO CORNER WITH DUCT HANGERS.
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- 14. HANGERS TO BE DEMOLISHED AND RE-INSTALLED TO CORNER WITH DUCT HANGERS.
- 15. HANGERS TO BE DEMOLISHED AND RE-INSTALLED TO CORNER WITH DUCT HANGERS.
- 16. HANGERS TO BE DEMOLISHED AND RE-INSTALLED TO CORNER WITH DUCT HANGERS.
- 17. HANGERS TO BE DEMOLISHED AND RE-INSTALLED TO CORNER WITH DUCT HANGERS.
- 18. HANGERS TO BE DEMOLISHED AND RE-INSTALLED TO CORNER WITH DUCT HANGERS.
- 19. HANGERS TO BE DEMOLISHED AND RE-INSTALLED TO CORNER WITH DUCT HANGERS.
- 20. HANGERS TO BE DEMOLISHED AND RE-INSTALLED TO CORNER WITH DUCT HANGERS.

Demo for Structural at Shear Wall

20' x 10' Both Sides

Duct Penetrations 19' X 48"



GENERAL NOTES

1. SEE DETAIL FOR PENETRATION ON INTERIOR AND EXTERIOR THROUGH ROOF. SEE DETAIL FOR PENETRATION THROUGH ROOF. SEE DETAIL FOR PENETRATION THROUGH ROOF.
2. DEMOLISH DUCTWORK INSIDE THE ROOF. SEE DETAIL FOR DUCTWORK AND AT CORNER. SEE DETAIL FOR DUCTWORK AND AT CORNER.
3. DEMOLISH ALL WORK WITH ARCHITECT STRUCTURAL, MECHANICAL, ELECTRICAL AND CONTINGENT.
4. PRIOR TO THE DEMOLITION OF WALL VERIFY THAT THE DEMOLITION IS TO BE IN ACCORDANCE WITH THE DESIGN AND CONSTRUCTION DOCUMENTS.
5. REMOVE AND RE-INSTALL ALL DUCTS TO REMAIN AS SHOWN.

ENLARGED HVAC SECOND FLOOR RENOVATION PLAN

ENLARGED HVAC SECOND FLOOR DEMOLITION PLAN

Demo Collapsing Photos for hangers 24" X 48" (30)

BOARD OF EDUCATION
 575 PERSIMMON DRIVE, SUITE 100
 BOSTON, MA 02118
 TEL: 617-552-3000
 FAX: 617-552-3001

WVC-AE
 WILSON CONSULTANTS
 1000 WASHINGTON STREET
 BOSTON, MA 02118
 TEL: 617-552-3000
 FAX: 617-552-3001

HAWTHORNE ELEMENTARY
 BUILDING 01-05 HVAC FLOOR PLANS
 SCHOOL
 HVAC SECOND PHASE 2
 EDUCATIONAL SUPPORT SPACES



M2.5

SHEET NOTES

1. INSTALL CONCRETE JUMP ON CONCRETE PADS. JOINTS OF CONCRETE PADS SHALL BE A MINIMUM OF 8 INCHES LARGER THAN 60 ALL AROUND.
2. PROVIDE RETENTION FROM WITHDRAWAL AND EXISTING FLOORING AND FLOORING SHALL BE REINFORCED WITH 18 GAGE STEEL AND FLOORING SHALL BE TO THRESHOLD.
3. PROVIDE RETENTION FROM WITHDRAWAL AND EXISTING FLOORING AND FLOORING SHALL BE REINFORCED WITH 18 GAGE STEEL AND FLOORING SHALL BE TO THRESHOLD.
4. PROVIDE RETENTION FROM WITHDRAWAL AND EXISTING FLOORING AND FLOORING SHALL BE REINFORCED WITH 18 GAGE STEEL AND FLOORING SHALL BE TO THRESHOLD.
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10. PROVIDE RETENTION FROM WITHDRAWAL AND EXISTING FLOORING AND FLOORING SHALL BE REINFORCED WITH 18 GAGE STEEL AND FLOORING SHALL BE TO THRESHOLD.

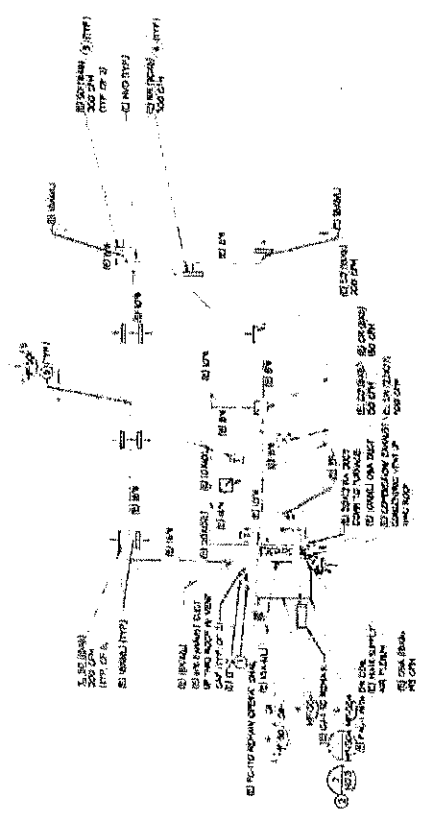
GENERAL NOTES

1. DO NOT INSTALL TERMINALS OR COILS. ALL INSTALL TERMINALS ON INSULATED BACK PLATE. FOR EXACT LOCATION COORDINATE WITH ARCHITECT OF RECORD.
2. RETURN ALL SMALL OUTDOOR WIRING TO ROOMS IN THE SHOP OF EACH FLOOR AND AT THRESHOLD.
3. COORDINATE ALL WORK WITH ARCHITECT, MECHANICAL, ELECTRICAL, PLUMBING, AND CONTROLS.
4. PRIOR TO BID CONTRACTORS SHALL VERIFY EXISTING CONDITIONS. THERE ARE ANY DISCREPANCIES, SMALL CORRECTIONS TO THESE ARE TO BE INCORPORATED INTO THE CONSTRUCTION DOCUMENTS.
5. ALL SERVICE AND NETWORKING CABLE SHALL BE UNID.

KEY PLAN



BUILDING 02-06 HVAC FLOOR PLAN



None



NORTH



WVCAE
 BOARD OF EDUCATION
 500 SOUTH MAIN STREET
 MARTINSBURG, WV 26150

HAWTHORNE ELEMENTARY SCHOOL
 BUILDING 02-06 HVAC FLOOR PLAN
 HVAC 2000 PHASE 2
 EDUCATIONAL SUPPORT SPACES

PMPIC Consultants
 1300 GREENBRIER DRIVE, SUITE 107
 MARTINSBURG, WV 26150
 TEL: (304) 440-0000
 FAX: (304) 440-0002

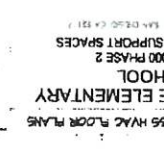
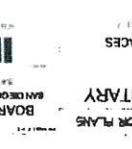
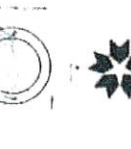
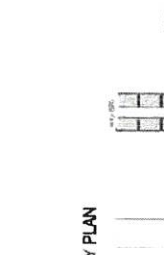
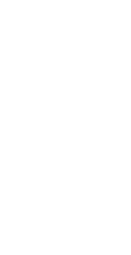
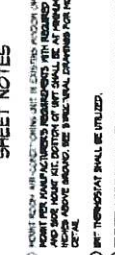
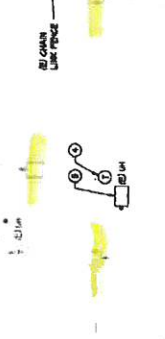
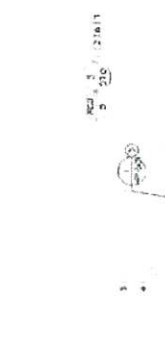
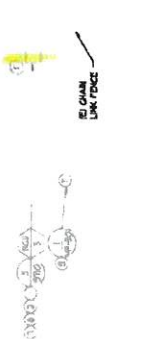
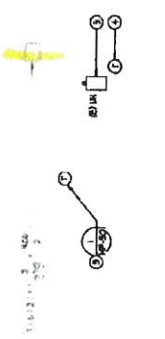
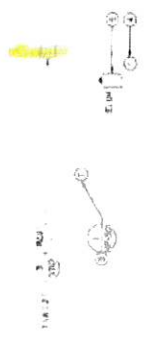
2

SHEET NOTES

1. NOTE: ALL WORK SHALL BE IN ACCORDANCE WITH THE BOARD OF EDUCATION'S POLICY ON CONTRACTORS' RESPONSIBILITIES. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE BOARD OF EDUCATION'S CONTRACT MANAGEMENT DEPARTMENT.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE BOARD OF EDUCATION'S POLICY ON CONTRACTORS' RESPONSIBILITIES. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE BOARD OF EDUCATION'S CONTRACT MANAGEMENT DEPARTMENT.
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GENERAL NOTES

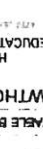
1. REFER TO ALL FIELD VERIFY LOCATIONS.
2. EXISTING UTILITIES TO REMAIN PROTECTED AND NOTICE.



PORTABLE BUILDINGS B1E-B20 HVAC FLOOR PLAN

PORTABLE BUILDINGS B21-B24 HVAC FLOOR PLAN

KEY PLAN



PORTABLE BUILDINGS HVAC FLOOR PLANS
 HAWTHORNE ELEMENTARY SCHOOL
 HVAC 2000 PHASE 2
 EDUCATIONAL SUPPORT SPACES
 477 LINDSEY BLVD. DEPT. CA 921



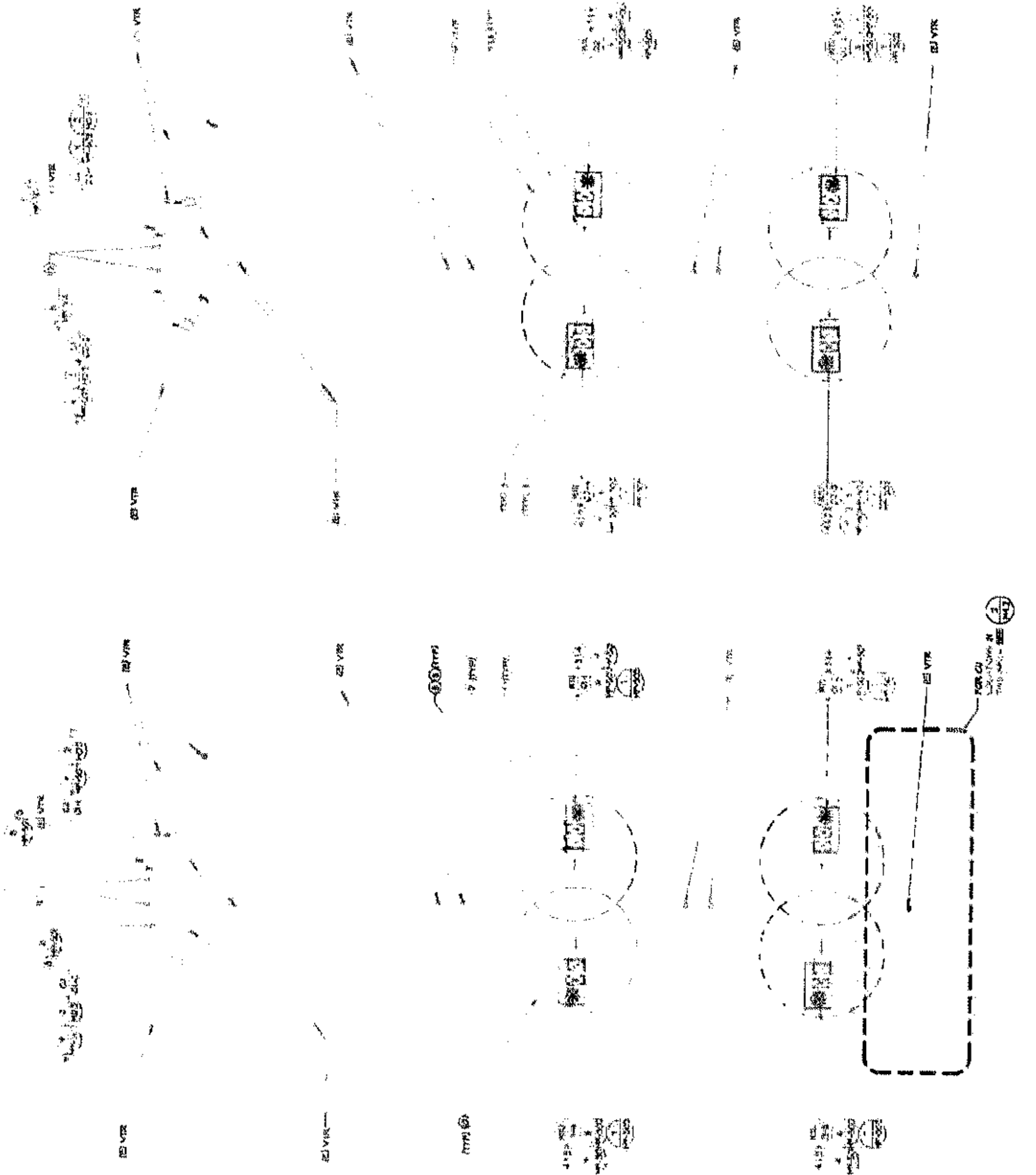
Assem 1/2" holes for steel anchors

SHEET NOTES

1. SHALL BE SHOWN AND LOCATED TO BE EXISTING.
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20. SHALL BE SHOWN AND LOCATED TO BE EXISTING.

GENERAL NOTES

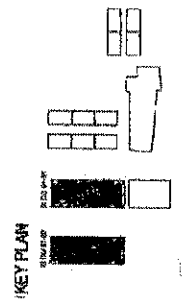
1. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS AND STANDARDS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS.
4. ALL MATERIALS AND METHODS SHALL BE APPROVED BY THE CITY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS.
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8. ALL MATERIALS AND METHODS SHALL BE APPROVED BY THE CITY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS.



BUILDING 01-01 HVAC ROOF PLAN
 ALL SCALE 1/8" = 1'-0"

BUILDING 01-02 HVAC ROOF PLAN
 ALL SCALE 1/8" = 1'-0"

HAWTHORNE ELEMENTARY SCHOOL
 HAVC 2000 PHASE 2
 EDUCATIONAL SUPPORT SPACES
 1750 LA BREA BLVD. SAN DIEGO, CA 92117



PMPEC CONSULTANTS
 10000 SAN DIEGO BLVD. SUITE 407
 SAN DIEGO, CA 92131
 TEL: (619) 440-0800
 FAX: (619) 440-0801



BOARD OF EDUCATION
 EDUCATIONAL SERVICES DIVISION
 111 W. C. AVE.

PMPEC CONSULTANTS
 10000 SAN DIEGO BLVD. SUITE 407
 SAN DIEGO, CA 92131
 TEL: (619) 440-0800
 FAX: (619) 440-0801

Plumbing and Electrical Penetrations

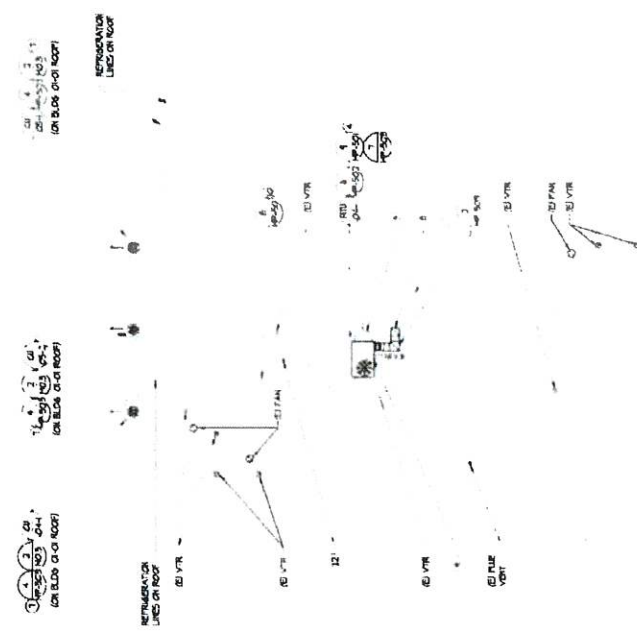
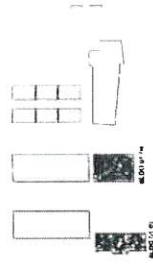
SHEET NOTES

1. 2x10 @ 16" O.C. DUCT DOWN THE ROOF PROVIDE FLEX CONNECTION AT DUCTS CONNECTING TO R/W'S
2. 2x10 @ 16" O.C. DUCT DOWN THE ROOF PROVIDE FLEX CONNECTION AT DUCTS CONNECTING TO R/W'S
3. 2x10 @ 16" O.C. DUCT DOWN THE ROOF PROVIDE FLEX CONNECTION AT DUCTS CONNECTING TO R/W'S
4. 2x10 @ 16" O.C. DUCT DOWN THE ROOF PROVIDE FLEX CONNECTION AT DUCTS CONNECTING TO R/W'S
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20. 2x10 @ 16" O.C. DUCT DOWN THE ROOF PROVIDE FLEX CONNECTION AT DUCTS CONNECTING TO R/W'S

GENERAL NOTES

1. COORDINATE EXACT LOCATION OF VENTS WITH STRUCTURAL
2. PROVIDE EXACT LOCATION OF VENTS WITH STRUCTURAL
3. PROVIDE EXACT LOCATION OF VENTS WITH STRUCTURAL
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18. PROVIDE EXACT LOCATION OF VENTS WITH STRUCTURAL
19. PROVIDE EXACT LOCATION OF VENTS WITH STRUCTURAL
20. PROVIDE EXACT LOCATION OF VENTS WITH STRUCTURAL

KEY PLAN



PMPEC Consultants
 Mechanical Engineers
 5775 DELANUE BLVD, SUITE 600
 SAN DIEGO, CA 92121
 TEL: (619) 443-0600
 FAX: (619) 443-0605

BUILDING 01-04 HVAC ROOF PLAN
 M.P. SCALE 1/8" = 1'-0"

BUILDING 01-03 - VAC ROOF PLAN
 M.P. SCALE 1/8" = 1'-0"

2



BOARD OF EDUCATION
 SAN DIEGO UNIFIED SCHOOL DISTRICT
 12345 W. CENTER ST., SAN DIEGO, CA 92161

HAWTHORNE ELEMENTARY SCHOOL
 HVAC 2000 PHASE 2
 EDUCATIONAL SUPPORT SPACES
 BUILDING 01-02 & 01-04 HVAC ROOF PLAN

M4.2

NTP Request (Add line to PO)

 Upper Form

Record Information

Record Number: NTPRA-000001	Creator: Tony Wisniewski
Project Name: Hawthorne ES HVAC Phase 2	Creation Date: 02/18/2020 01:04 PM (UTC-8)
Project Number: 91410071.1	Status: Approved
	Record Last Update Date: 02/27/2020 08:31 AM (UTC-8)

NTP Information

Title: NTP 06R1 Hawthorne ES
NTP Number: NTP 06R1 Hawthorne ES
Estimated Task Order Amount: (\$6,023.68)

NTP Processing (Informational Only)

Contract Specialist: Linda Weekly
FPC Director / PPO: Don Webb
PPO Lead:

Contract Details

Reference SOV: PO-000007	Vendor Name: Soltek Pacific
Peoplesoft PO Number: PO 0000355318	
Reference Contract: CON-000262	
Contract Number: CZ19-0860	Contract Title: D/B Construction of HVAC at Multiple Sites PKG C

Task Order Description

Description: Revise construction cost for design contingency.
 Justification: Contractor's proposal for contingency adjustments included overhead, supervision, bond fees and profit for subcontractor work section (9), that was incorrectly marked up 16% rather than the contract allowed maximum of 11%. The NTP revision reduces the total cost of the contingency adjustments.

CAP 001 Original was \$139,749.24 revised to \$133,725.56, Reducing CAP 001 by \$6,023.68.

CAP 001 has been billed to \$134,882.93, with a balance to finish of \$4,866.31. Cap 001 will be reduced by the balance to finish (\$4,866.31) with the remaining difference (\$6,023.68-\$4,866.31) of \$1,157.37 being taken out of the construction NTP.

Have you attached a proposal?: Yes

Task Order Location

Proposed Task Order Start 02/18/2020 Date:	Final Task Order Start 10/01/2019 Date:
Proposed Task Order End 02/28/2020 Date:	Final Task Order End 06/24/2020 Date:

Project Costing Data

Business Unit: SDUSD	Peoplesoft Activity ID: (H) Construction
Project Name: Hawthorne ES HVAC Phase 2	Project Costing Resource: SVCS
Project ID: 91410071.1	

Administrative Revision

Revision Description:

Budget Journal (PS)

Budget Transfer Journal: tbd	Ledger Group:
Budget Journal: tbd	Budget Period:
Budget Transfer Journal (recon):	
Budget Journal (recon):	
Create Budget Transfer Journal?:	
Create Budget Journal?:	

Integration Rejection Comments

If a record is rejected in PeopleSoft, comments will be displayed here.

Rejection Comments:

Integrated Commitment

Integrated Commitment?: Non-Integrated

Task Details

Record has been closed.

Workflow Progress

Step Name	Assignee	Company	Status	Action	Completion Date
Creation (CM)	Tony Wisniewski	SDUSD	Completed	Request NTP	02/18/2020 01:04 PM
01 Contracts Specialist	Mayra Flores	SDUSD	Completed	Send to CSE	02/19/2020 07:45 AM
02 CSE	Wazira Salem	SDUSD	Completed	Send to PM	02/21/2020 11:27 AM
03 PM	Radik Musin	SDUSD	Completed	Send to CM Director	02/24/2020 12:20 PM
04 CM Director	Don Webb	SDUSD	Completed	Send for Funding	02/25/2020 08:34 AM
05 Lead CSE	Greg McFarlane	SDUSD	Completed	Send to Budget Analyst	02/25/2020 08:47 AM
06 Budget Analyst	Linda Bravo	SDUSD	Completed	Send to Contract Specialist	02/26/2020 03:35 PM
07 Contract Specialist	Mayra Flores	SDUSD	Completed	Send to Contracts Supervisor	02/27/2020 08:07 AM
08 Contract Supervisor	Graham Champion	SDUSD	Completed	Approve	02/27/2020 08:19 AM
09 CS Pplsoft	Mayra Flores	SDUSD	Completed	Close NTP Revision	02/27/2020 08:31 AM

Line Items

1 Item(s)

No.	Budget String	Revise Existing Line?	SOV Line	Cost Code	Code Name	Short Description	Amount	Line Type (for IDIQ)	Bond Series
001	9141-90403-00-6200-8500-0000-21400-8611	Yes	2	9141-Z.FPC-6200-8611-CONST	Z.FPC Construction NHVAC	NTP 06R1 Hawthorne ES Design Contingency	(\$6,023.68)	Base Item	21400-H ST

Total Amount (\$6,023.68)

Attachments (1)

Linked Records (0)

Linked Mail (0)